



A - South Elevation along Nannie Helen Burroughs Avenue, NE



B - North Elevation





KEY PLAN

A- East Elevation of Building 2 along Division Avenue

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THE WARRENTON GROUP
NHP FOUNDATION

East Elevation - Building 2
DEANWOOD TOWN CENTER



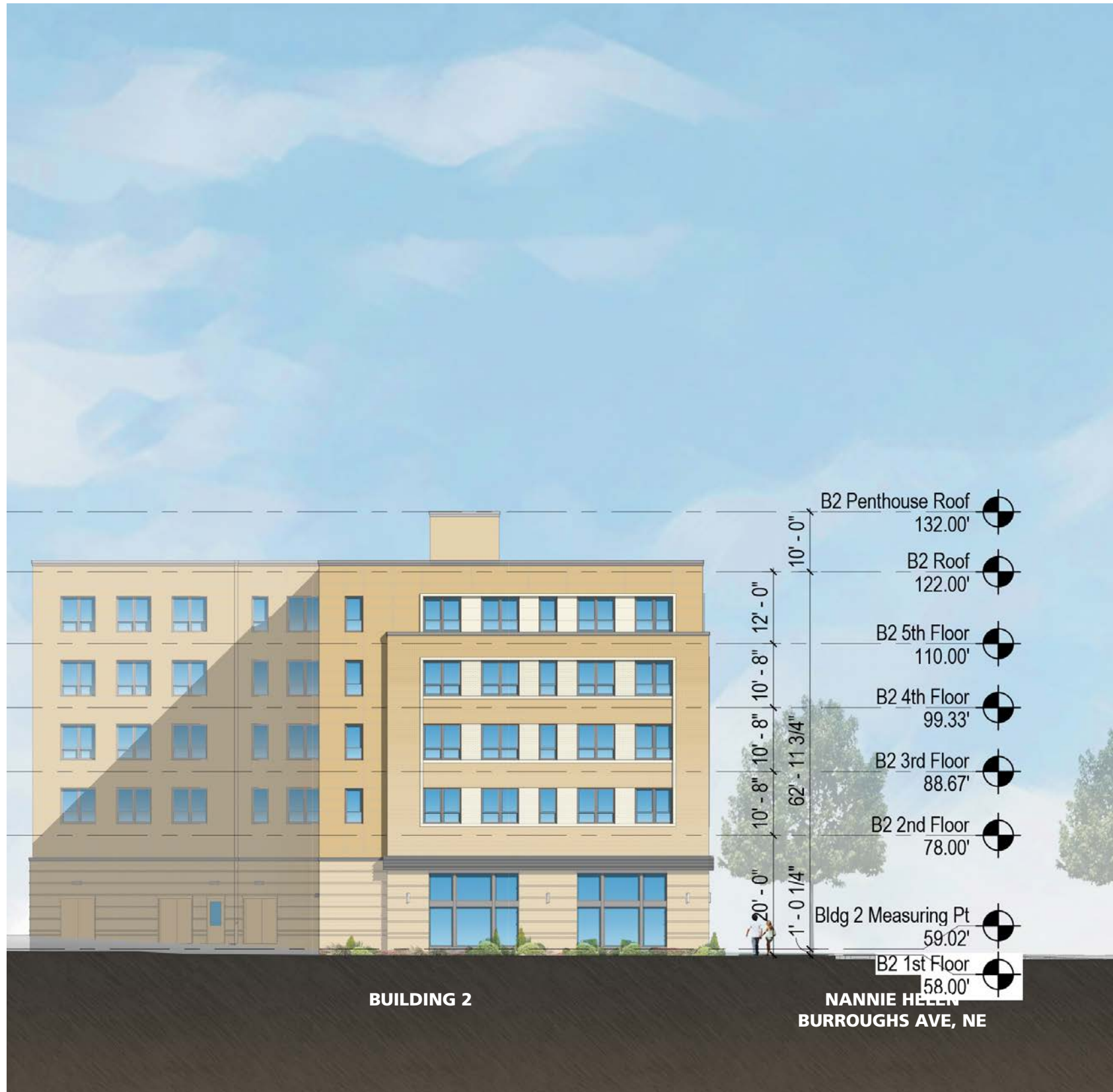
A -Enlarged South Elevation of Building 2 along Nannie Helen Burroughs Avenue, NE

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THE WARRENTON GROUP
NHP FOUNDATION

South Elevation- Building 2
DEANWOOD TOWN CENTER



A - Enlarged West Elevation of Building 2 along Alley

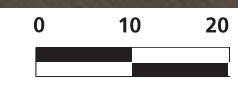


B - Enlarged North Elevation of Building 2





A - Enlarged South Elevation of Building 1 along Nannie Helen Burroughs Avenue, NE

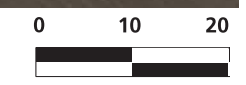




A - East Elevation of Building 1 along Alley



KEY PLAN



A -Enlarged South Elevation of Building 1 along Nannie Helen Burroughs Avenue, NE

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THE WARRENTON GROUP
NHP FOUNDATION

South Elevation - Building 1
DEANWOOD TOWN CENTER



KEY PLAN



A - Enlarged West Elevation of Building 1 along 51st Street, NE



KEY PLAN



A -Enlarged North Elevation of Building 1 from Adjacent Property

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NHP FOUNDATION

North Elevation - Building 1
DEANWOOD TOWN CENTER

A22





KEY PLAN



PUBLIC ALLEY

BUILDING 1

51ST STREET, NE

A -Enlarged North Elevation of Building 1 from inside Property Line

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North Elevation - Building 1
DEANWOOD TOWN CENTER



A - Building 2 - Perspective View



B - Building 2 - Enlarged South Elevation

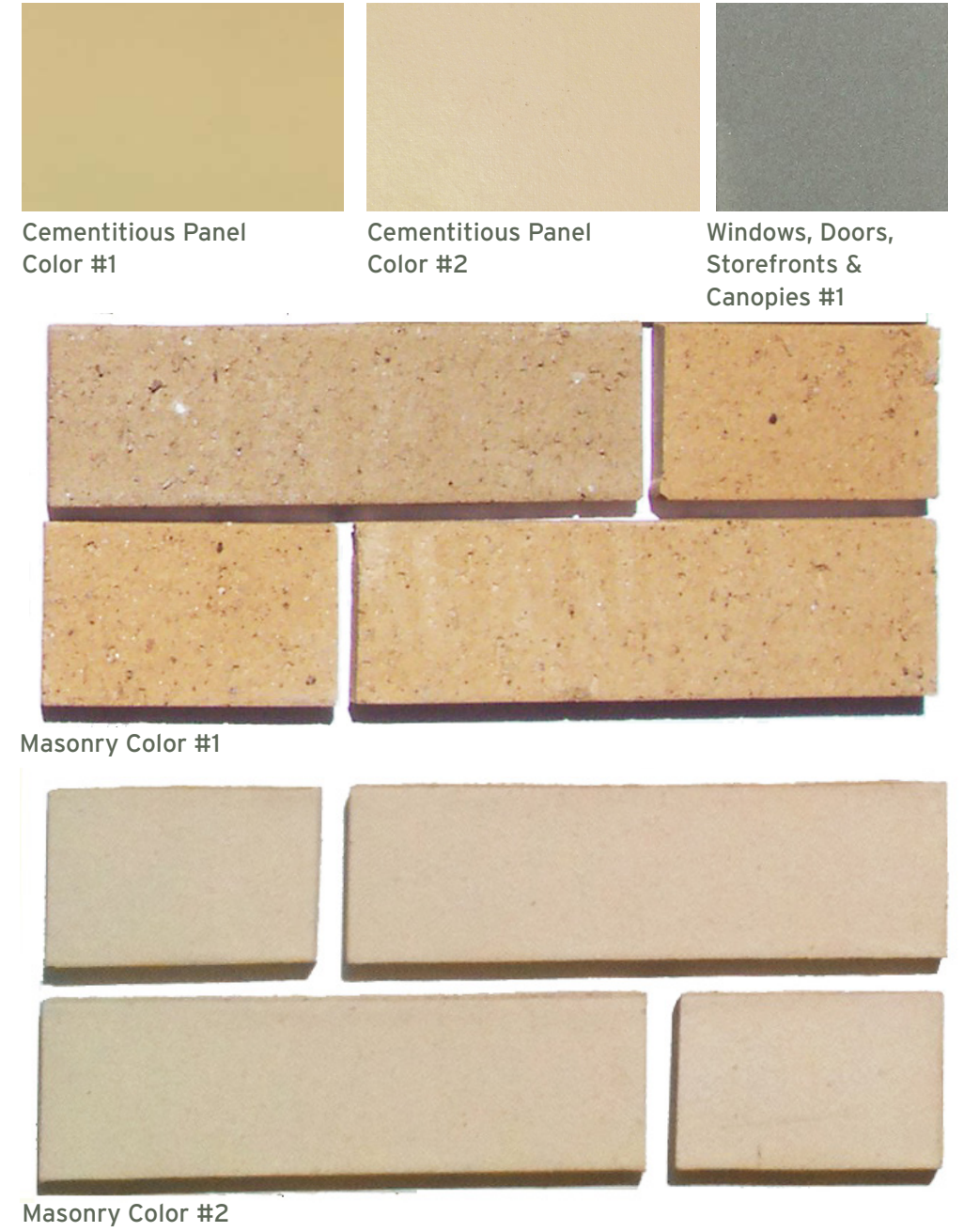


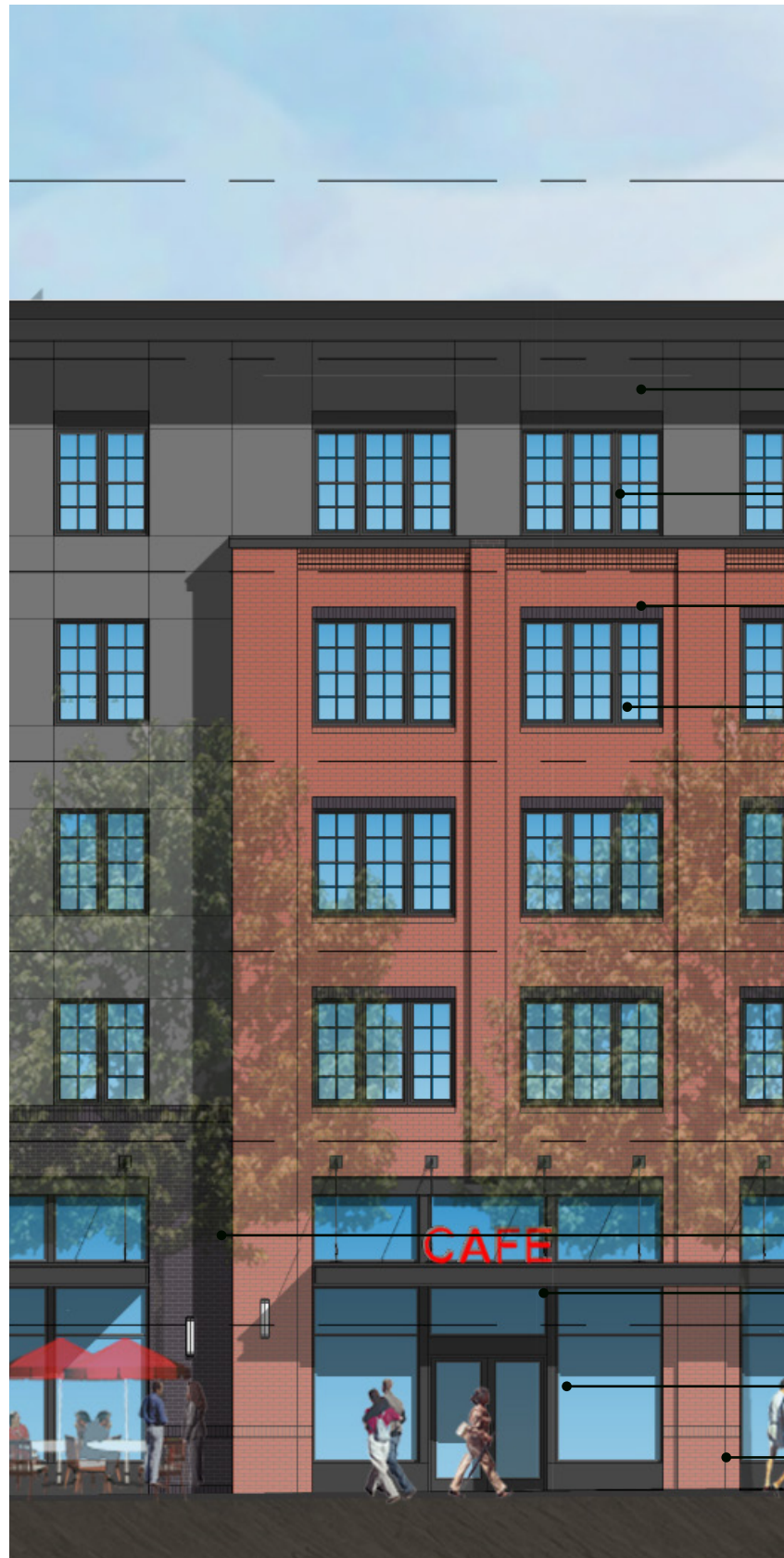
MATERIALS LEGEND

- 1 Masonry Color #1
- 2 Masonry Color #2
- 3 Windows, Doors, Storefronts & Canopies #1
- 4 Cementitious Panel Color #1
- 5 Cementitious Panel Color #2
- 6 Cast Stone



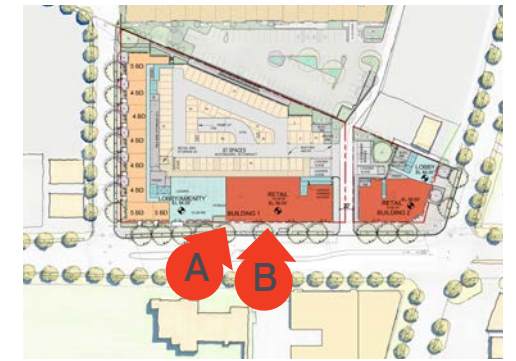
KEY PLAN



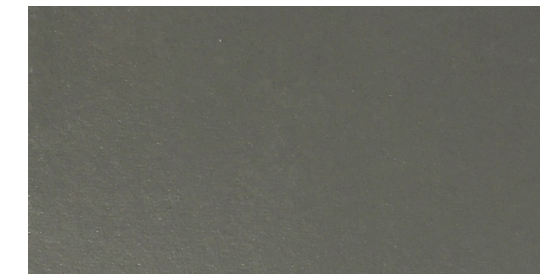


MATERIALS LEGEND

- 1 Masonry Color #3
- 2 Masonry Color #4
- 3 Windows, Doors, Storefronts & Canopies #2
- 4 Cementitious Panel Color #3



KEY PLAN



Cementitious Panel Color #3



Windows, Doors, Storefronts & Canopies



Masonry Color #3



Masonry Color #4



A - Building 1 - Perspective View

B - Building 1 - Enlarged South Elevation



A - Building 1 - Perspective View



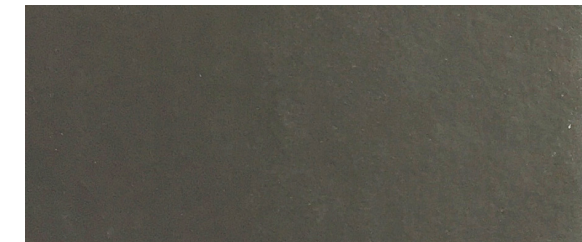
B - Building 1 - Enlarged South Elevation

MATERIALS LEGEND

- 1 Masonry Color #5
- 2 Windows, Doors, Storefronts, Canopies & Railings/Balconies #3
- 3 Cementitious Siding Color #4



KEY PLAN



Cementitious Siding Color #4



Windows, Doors, Storefronts, Canopies & Railings/Balconies #3



Masonry Color #5





- Entry Canopy
- Individual Unit Numbers
- Sconce Lighting
- Stoop
- Low Fence
- Private Yard

A - Building 1 - Perspective View

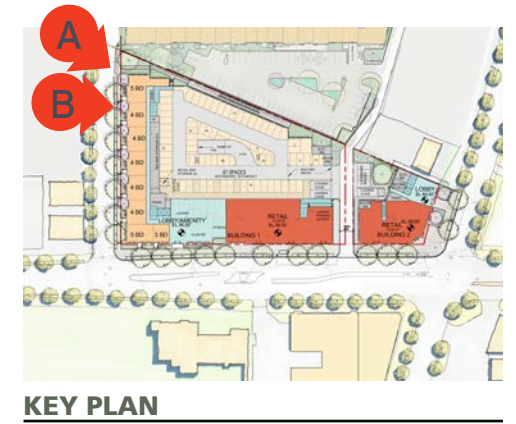


B - Building 1 - Enlarged West Elevation



MATERIALS LEGEND

- 1 Masonry Color #5
- 2 Windows, Doors, Storefronts, Canopies & Railings/Balconies #3
- 3 Cementitious Siding Color #4



Cementitious Siding Color #4



Windows, Doors, Storefronts, Canopies & Railings/Balconies #3



Masonry Color #5

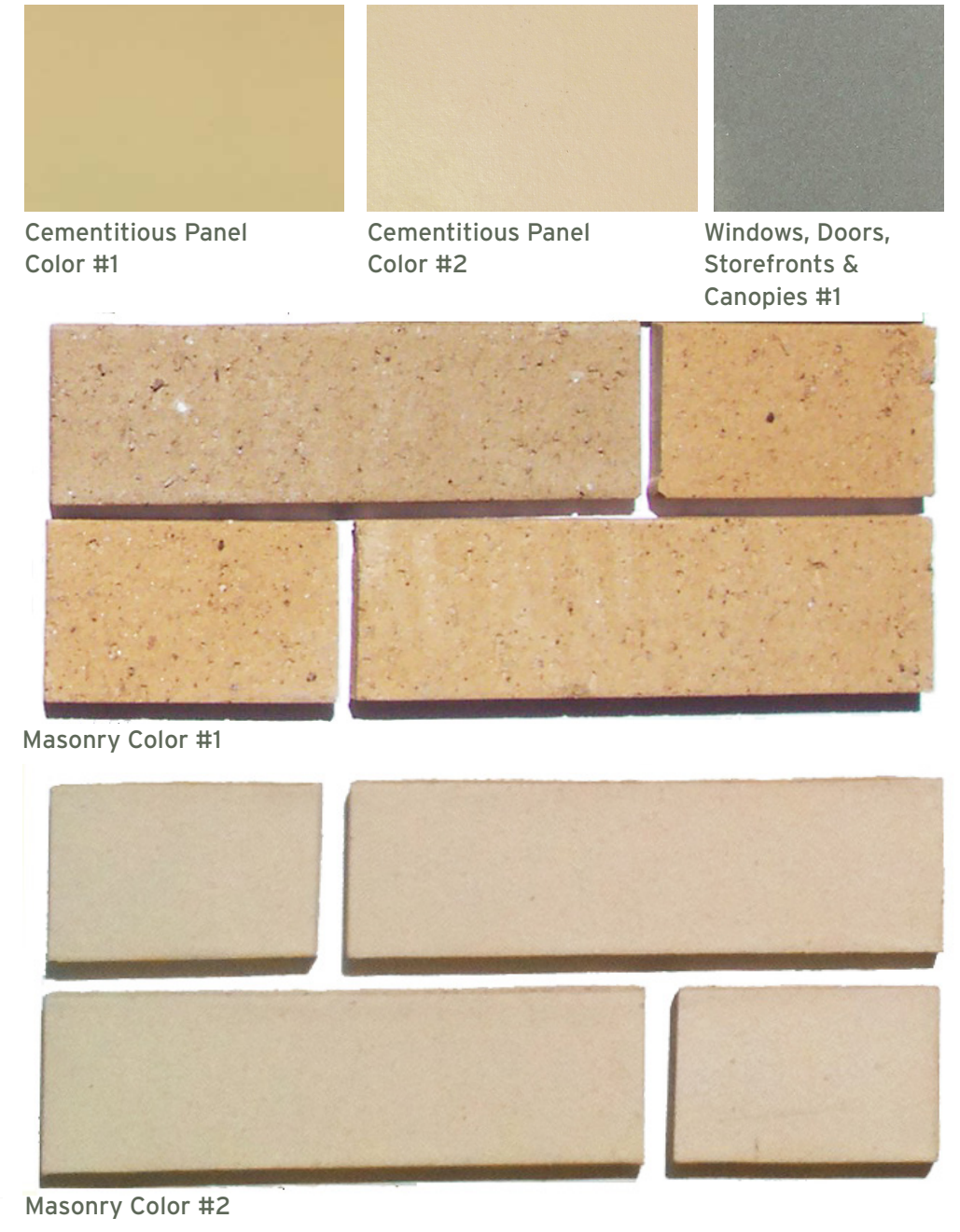


MATERIALS LEGEND

- 1 Masonry Color #1
- 2 Masonry Color #2
- 3 Windows, Doors, Storefronts & Metal Copings
- 4 Cementitious Panel Color #1
- 5 Cementitious Panel Color #2



KEY PLAN



A - Building 2 Enlarged North Elevation



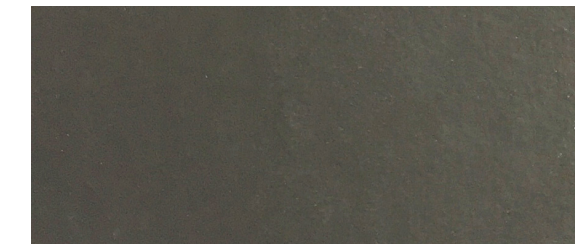


MATERIALS LEGEND

- 1 Masonry Color #5
- 2 Windows, Doors, Railings & Metal Coping
- 3 Cementitious Siding Color #4
- 4 Cementitious Panel Color #5
- 5 Painted Concrete Color #1
- 6 Painted Concrete Color #2



KEY PLAN



Cementitious Siding Color #4



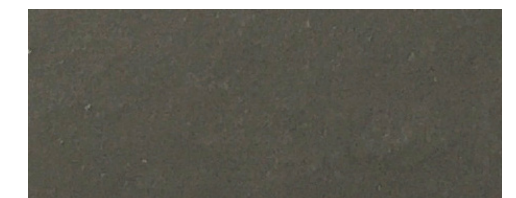
Windows, Doors, Storefronts & Railings/Balconies



Cementitious Panel Color #5



Painted Concrete Color #1



Painted Concrete Color #2



Masonry Color #5



Masonry Color #5



A - Building 1 - Enlarged North Elevation



RETAIL SIGNAGE ZONE - SIZE AND MATERIAL TO COMPLY WITH DC SIGNAGE REGULATIONS. (2'-0" X 15'-0" MAXIMUM SIZE ANTICIPATED)

Type A - Building 2 Retail Signage



RESIDENTIAL SIGNAGE ZONE - 2'-0" HEIGHT X 15'-0" LENGTH MAXIMUM, ALUMINUM

Type B - Building 2 Residential Signage



RETAIL SIGNAGE ZONE - SIZE AND MATERIAL TO COMPLY WITH DC SIGNAGE REGULATIONS. (2'-0" X 15'-0" MAXIMUM SIZE ANTICIPATED)

Type C - Building 1 Retail Signage



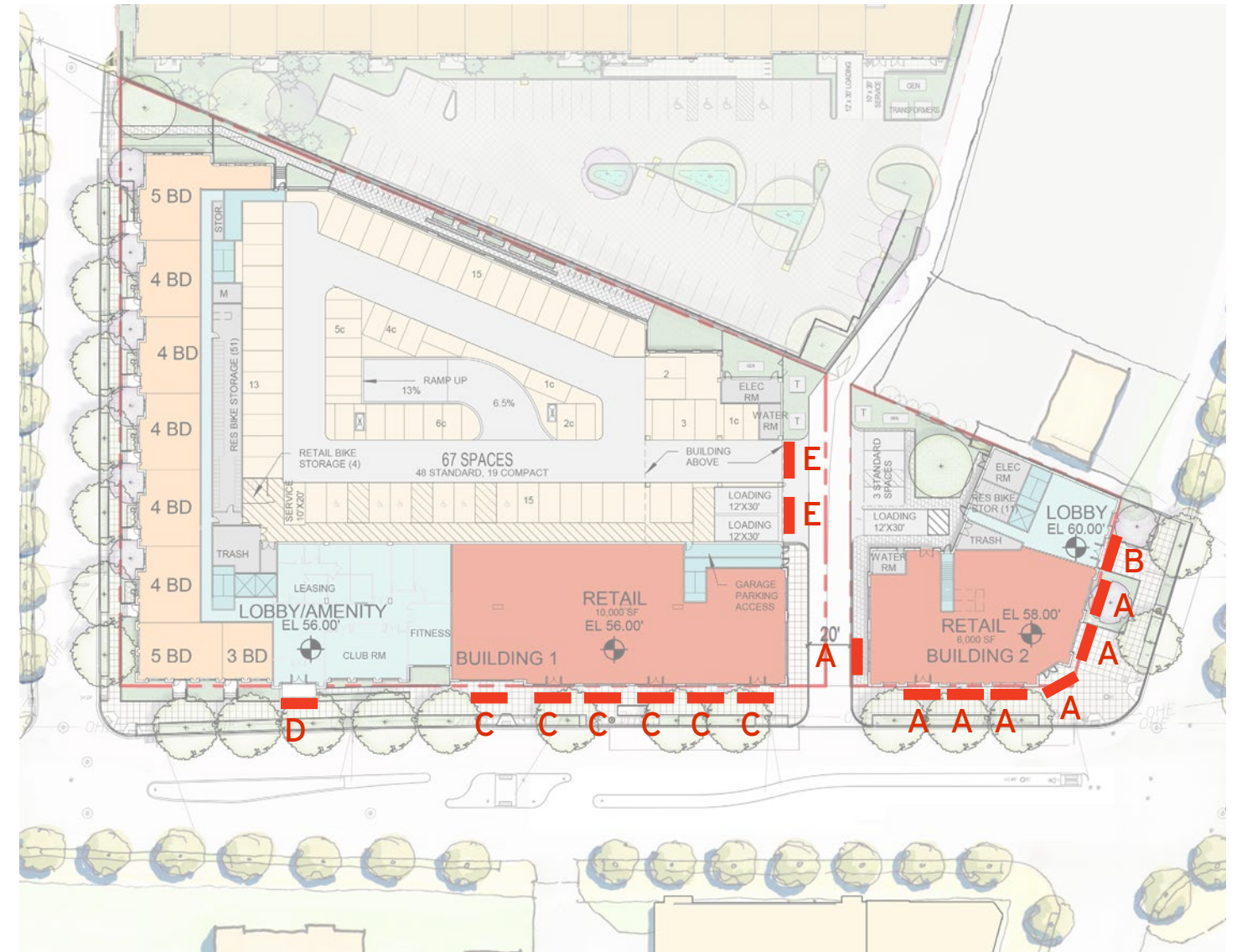
RESIDENTIAL SIGNAGE ZONE - 2'-0" HEIGHT X 15'-0" LENGTH MAXIMUM, ALUMINUM

Type D - Building 1 Residential Signage



PARKING/LOADING SIGNAGE ZONE - 1'-6" HEIGHT X 10'-0" LENGTH MAXIMUM, ALUMINUM

Type E - Building 1 Parking/Loading Signage



KEY PLAN

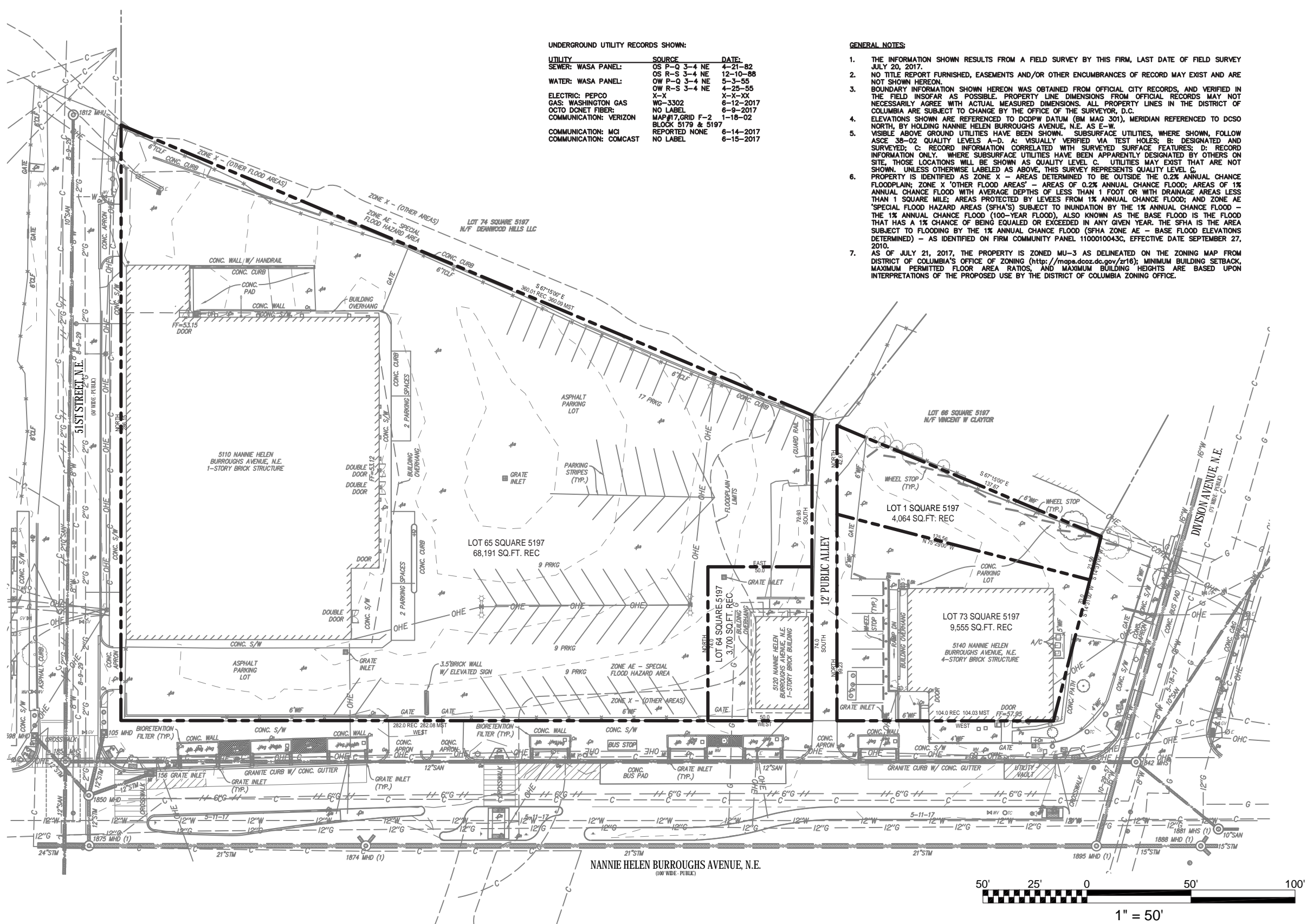
Civil Exhibits

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LEGEND			
As	ASPHALT	TL	TRAFFIC LIGHT POLE
Bk	BRICK	CS	CROSSWALK SIGNAL
Cn	CONCRETE	SC	SPRINKLER CONTROL VALVE
Gn	GRANITE	GV	GAS VALVE
Gr	GRASS	WV	WATER VALVE
Mh	MULCH	WI	GUY WIRE
Mt	METAL	DD	DOUBLE DOOR
Pc	PLASTIC	DR	DOOR
Pv	PAVERS	OC	OVERHEAD COMMUNICATION
Vg	VEGETATION	OE	OVERHEAD ELECTRIC
Sh	SHRUB	UE	UNDERGROUND ELECTRIC
DT	DECIDUOUS TREE	UG	UNDERGROUND GAS
B	BOLLARD	UB	UNDERGROUND BIKE
BR	BIKE RACKS	US	UNDERGROUND STORM SEWER
MB	MAIL BOX	FL	FENCE LINE
TC	TRASH CAN	HR	HAND RAIL
SP	STEEL POST	PL	PROPERTY LINE
TCB	TRAFFIC CONTROL BOX	TC	TOP OF CURB
SC	SECURITY CAMERA	BC	BOTTOM OF CURB
CN	CLEANOUT	FL	FLOWLINE
RD	ROUND DRAIN	TW	TOP OF WALL
FH	FIRE HYDRANT	BW	BOTTOM OF WALL
WL	WALL LIGHT	S/W	SIDEWALK
DM	DRAINAGE MANHOLE	N/F	NOW AND/OR FORMERLY
EM	ELECTRIC MANHOLE	FF	FINISHED FLOOR
SM	SEWER MANHOLE	C&G	C&G CURB AND GUTTER
UM	UTILITY MANHOLE	CC	CONC. CONCRETE
WM	WATER MANHOLE	TY	TYP. TYPICAL
WM	WATER METER	SA	SAN. SANITARY SEWER
CLP	COBRA LIGHT POLE	SS	STM. STORM SEWER
ELP	ELECTRIC POLE	CLF	CLF CHAIN LINK FENCE
DGLP	DOUBLE GLOBE LIGHT POLE	WIF	WIF WROUGHT IRON FENCE
LP	LIGHT POLE	REC	RECORD
		MS	MEASUREMENT

Structure Table	
Structure Name	Structure Details
1812 MHU (4)	RIM = 54.65 10" INV OUT = 45.42 S
1842 MHS (4)	RIM = 57.63 10" INV IN = 48.84 NE 10" INV IN = 49.01 SE 12" INV OUT = 48.42 W
1858 MHS (4)	RIM = 53.74 12" INV IN = 43.62 E 10" INV IN = 43.24 N 12" INV OUT = 43.03 S
1881 MHS (3)	RIM = 58.18 10" INV IN = 49.70 E 10" INV OUT = 49.71 NW

Structure Table	
Structure Name	Structure Details
105 MHD (4)	RIM = 54.10 12" INV OUT = 49.71 S
156 GRATE INLET (4)	RIM = 53.70 12" INV OUT = 47.31 W
1598 MHD (4)	RIM = 53.90 12" INV OUT = 47.71 SE
1850 MHD (4)	RIM = 53.82 12" INV IN = 46.95 NW 12" INV IN = 49.28 N 12" INV IN = 48.69 E 12" INV OUT = 46.16 S
1874 MHD (3)	RIM = 54.77 21" INV IN = 46.84 E 12" INV IN = 47.94 NW 12" INV IN = 48.65 NE 21" INV OUT = 46.85 W
1875 MHD (3)	RIM = 53.84 12" INV IN = 46.17 N 21" INV IN = 46.06 E 24" INV OUT = 46.22 W
1888 MHD (3)	RIM = 57.98 15" INV IN = 50.96 E 15" INV IN = 53.34 SE 15" INV IN = 51.02 NE 15" INV OUT = 50.70 W
1895 MHD (3)	RIM = 57.32 18" INV IN = 50.07 N 15" INV IN = 50.12 E 21" INV OUT = 49.72 W



UNDERGROUND UTILITY RECORDS SHOWN:


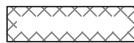




UTILITY	SOURCE	DATE
SEWER: WASA PANEL:	OS P-Q 3-4 NE	4-21-82
	OS R-S 3-4 NE	12-10-88
WATER: WASA PANEL:	OW P-Q 3-4 NE	5-3-55
	OW R-S 3-4 NE	4-25-55
ELECTRIC: PEPCO:	X-X	X-X-XX
GAS: WASHINGTON GAS:	WG-3302	6-12-2017
OCTO DCNET FIBER:	NO LABEL	6-9-2017
COMMUNICATION: VERIZON:	MAP#17, GRID F-2	1-18-02
	BLOCK 5179 & 5197	
COMMUNICATION: MCI:	REPORTED NONE	6-14-2017
COMMUNICATION: COMCAST:	NO LABEL	6-15-2017

- GENERAL NOTES:
- THE INFORMATION SHOWN RESULTS FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY JULY 20, 2017.
 - NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HERON.
 - BOUNDARY INFORMATION SHOWN HERON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C.
 - ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (GM MAG 301), MERIDIAN REFERENCED TO DCSO NORTH, BY HOLDING NANNIE HELEN BURROUGHS AVENUE, N.E. AS E-W.
 - VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
 - PROPERTY IS IDENTIFIED AS ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN; ZONE X "OTHER FLOOD AREAS" - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; AND ZONE AE "SPECIAL FLOOD HAZARD AREAS (SFHA'S) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SFHA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD (SFHA ZONE AE - BASE FLOOD ELEVATIONS DETERMINED) - AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010043C, EFFECTIVE DATE SEPTEMBER 27, 2010.
 - AS OF JULY 21, 2017, THE PROPERTY IS ZONED MU-3 AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://maps.dcoz.dc.gov/zr16>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.

SITE KEYNOTES:

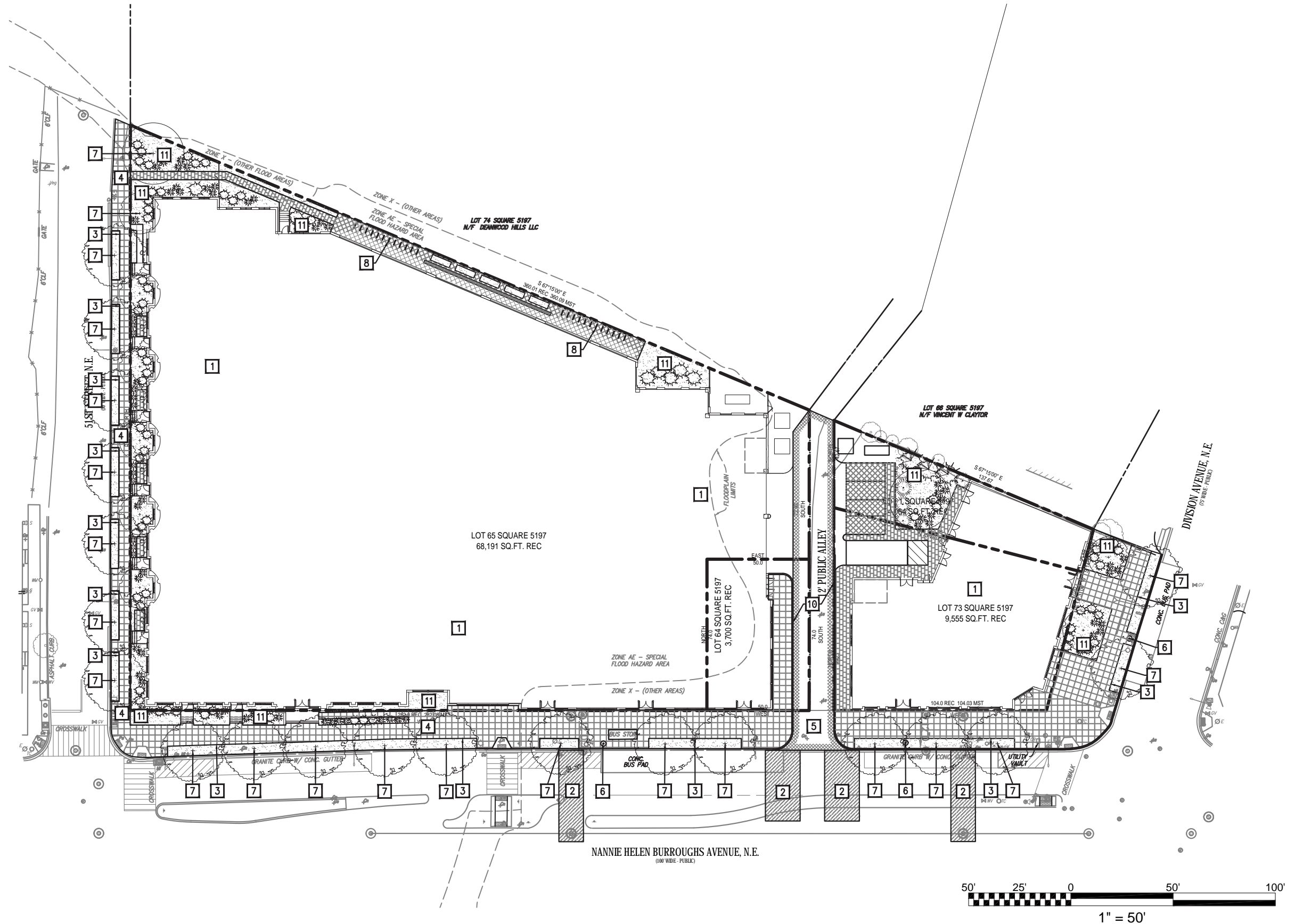
- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
- 2 NEW FULL DEPTH ASPHALT PAVEMENT PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET 6.06 FOR DETAILS.
- 3 NEW STREET TREE PIT. PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO LANDSCAPE DRAWING FOR LAYOUT.
- 4 NEW SIDEWALK PER DC/DDOT STANDARDS AND SPECIFICATIONS. REFER TO LANDSCAPE PLANS FOR MATERIAL SCORING PATTERN.
- 5 NEW CONCRETE ENTRANCE PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET 6.06 FOR DETAILS.
- 6 NEW STREETLIGHT. REFER TO LANDSCAPE PLANS FOR DETAILS.
- 7 NEW TREE. REFER TO LANDSCAPE PLANS FOR DETAILS.
- 8 NEW BIKE RACK. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 9 NEW HANDICAP RAMP PER DC/DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET 6.06 FOR DETAILS.
- 10 NEW SURFACE COURSE ASPHALT PAVEMENT PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET 6.06 FOR DETAILS.
- 11 NEW PEDESTRIAN AND LANDSCAPED AREA. REFER TO LANDSCAPE PLANS FOR DETAILS.

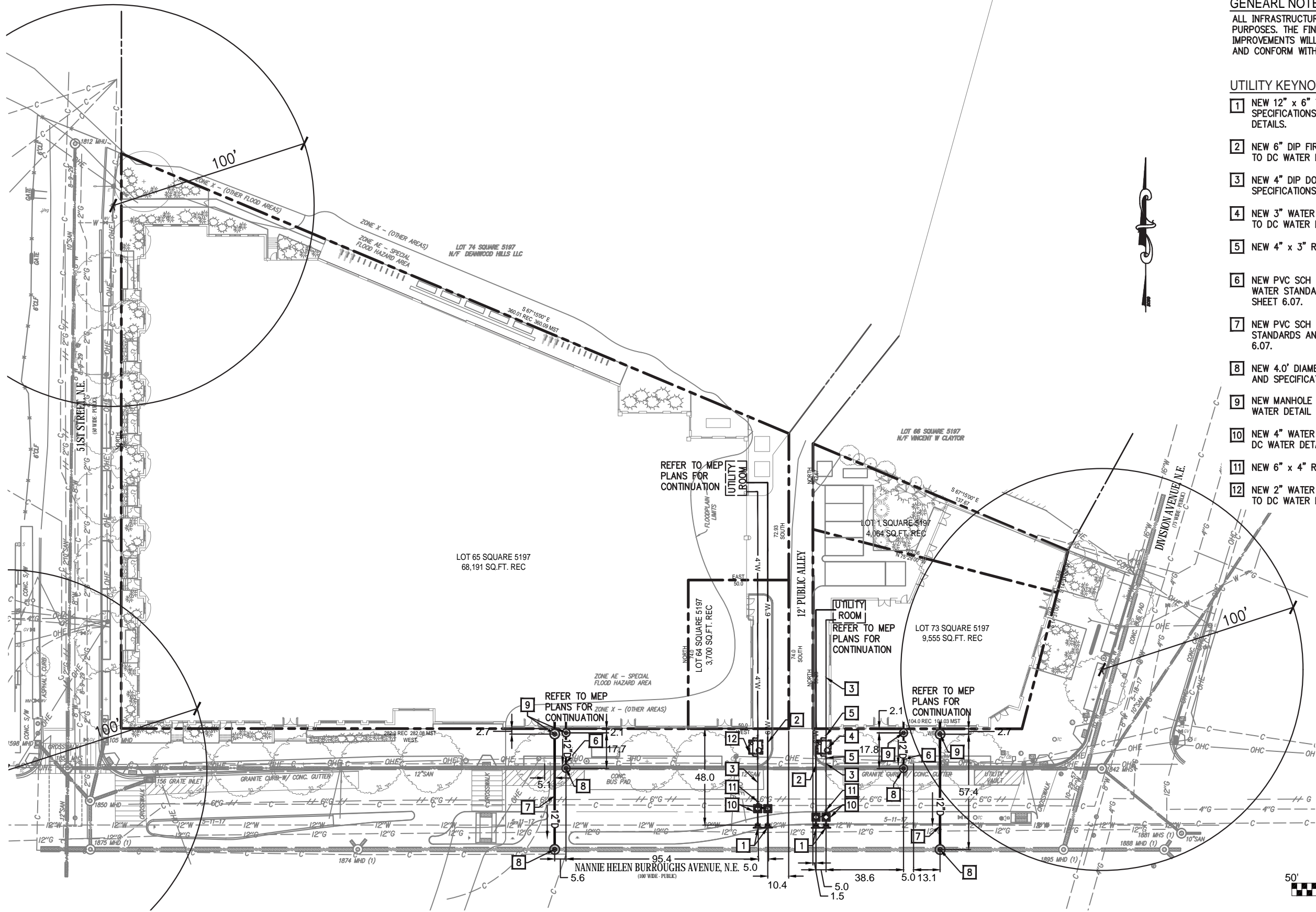
SITE LEGEND:

- NEW ASPHALT PAVEMENT (FULL DEPTH) 
- NEW ASPHALT PAVEMENT (SURFACE COURSE) 
- NEW CONCRETE PAVEMENT 
- NEW BRICK PATHWAY (SEE LANDSCAPE) 
- NEW CONCRETE SIDE WALK (SEE LANDSCAPE) 
- SITE KEY-NOTE 

NOTES:

- 1. STREETScape DETAILS ARE SHOWN IN CONCEPT FOR ILLUSTRATIVE PURPOSES. THE FINAL DETAILS OF THE STREETScape IMPROVEMENTS WILL BE SELECTED DURING DETAILED DESIGN PHASES OF WORK AND CONFORM WITH APPLICABLE DESIGN AND PERMITTING STANDARDS.
- 2. PLANT SPECIES SELECTIONS IDENTIFIED ON THIS PLAN ARE SHOWN TO ILLUSTRATE DESIGN INTENT ONLY. THE PURPOSE IS TO GENERALLY DEFINE PLANT SIZE, CHARACTER, AND LOCATIONS. REFINEMENTS TO THE PLANTING DESIGN AND FINAL SELECTION OF ALL PLANT MATERIALS CONSISTENT WITH THE SPECIES SHOWN SHALL BE DEVELOPED DURING DETAILED DESIGN PHASES OF WORK.
- 3. INTERIOR LAYOUTS ARE ILLUSTRATIVE ONLY AND SUBJECT TO CHANGE ON FINAL PLAN.
- 4. DC/DDOT MAY REQUIRE NEW ASPHALT SURFACE COURSE TO CENTERLINE OF THE STREET PER DC/DDOT INSPECTOR RECOMMENDATIONS. CONTRACTOR TO COORDINATE LIMITS OF NEW ASPHALT SURFACE COURSE WITH INSPECTOR.
- 5. ALL NEW DEVELOPMENT AND CONSTRUCTION ON ADJACENT PROPERTIES TO BE COMPLETED BY OTHERS AND IS NOT CONSIDERED PART OF THE PROJECT.





GENEARL NOTES:

ALL INFRASTRUCTURE AND DETAILS ARE SHOWN IN CONCEPT FOR ILLUSTRATIVE PURPOSES. THE FINAL DESIGN, LAYOUT, LOCATION AND DETAILS OF THE UTILITY IMPROVEMENTS WILL BE SELECTED DURING DETAILED DESIGN PHASES OF WORK AND CONFORM WITH APPLICABLE DESIGN AND PERMITTING STANDARDS.

UTILITY KEYNOTES:

- 1** NEW 12" x 6" TEE WITH THRUST BLOCK PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL W-40.01 ON SHEET 6.07 FOR DETAILS.
- 2** NEW 6" DIP FIRE SERVICE PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL W-10.01 ON SHEET 6.07 FOR TRENCHING DETAILS.
- 3** NEW 4" DIP DOMESTIC WATERLINE PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL W-10.01 ON SHEET 6.07.
- 4** NEW 3" WATER METER PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL DG-23.01 ON SHEET 6.07.
- 5** NEW 4" x 3" REDUCER PER DC WATER STANDARDS AND SPECIFICATIONS.
- 6** NEW PVC SCH 40 SANITARY SEWER LATERAL. (SEE PLAN FOR SIZE) PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL S-15.01 ON SHEET 6.07.
- 7** NEW PVC SCH 40 STORM SEWER PIPE. (SEE PLAN FOR SIZE) PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL S-12.01 ON SHEET 6.07.
- 8** NEW 4.0' DIAMETER MANHOLE WITH DOGHOUSE BASE, PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DETAILS S-20.11 AND S-20.03 ON SHEET 6.07.
- 9** NEW MANHOLE PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL S-20.01 ON SHEET CIV504 FOR DETAILS.
- 10** NEW 4" WATER VALVE PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL W-20.01 ON SHEET 6.07.
- 11** NEW 6" x 4" REDUCER PER DC WATER STANDARDS AND SPECIFICATIONS.
- 12** NEW 2" WATER METER PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER DETAIL DG-23.01 ON SHEET 6.07.



DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.
7. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.
8. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
9. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

LAND DISTURBANCE ACTIVITY NOTE:

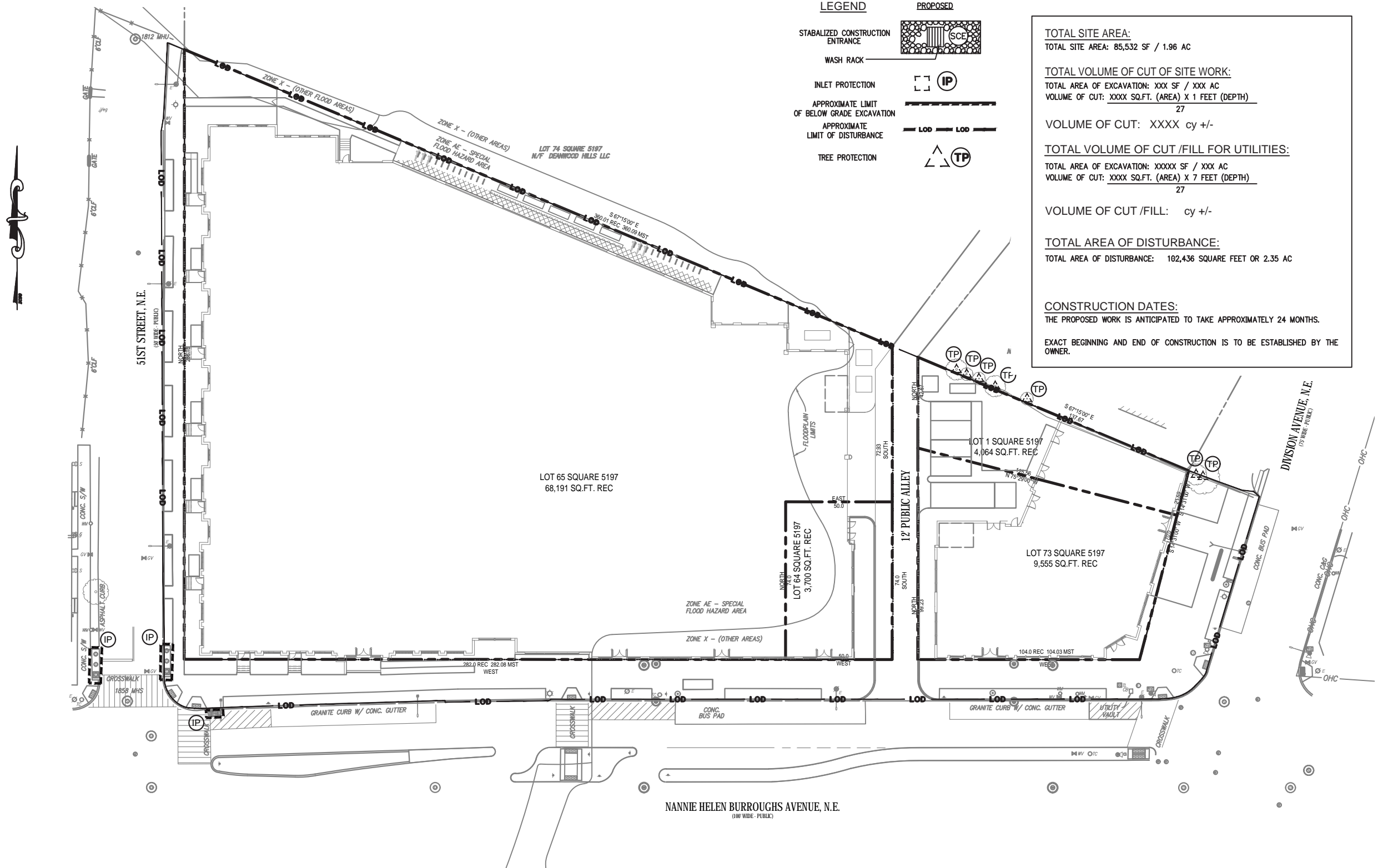
A PERSON RESPONSIBLE FOR LAND DISTURBANCE IS TO BE PRESENT OR AVAILABLE AT ALL TIMES WHILE SITE IS IN A PHASE INVOLVING LAND DISTURBING ACTIVITY. THE RESPONSIBLE PERSON IS RESPONSIBLE FOR INSPECTION OF THE SITE EROSION & SEDIMENT CONTROL MEASURES BIWEEKLY AND AFTER RAINFALL EVENTS. AVAILABILITY TO RESPOND TO POTENTIAL EROSION PROBLEMS AS THEY OCCUR AND AVAILABILITY TO SPEAK ONSITE WITH DDOE TO REMEDY POTENTIAL PROBLEMS. THE RESPONSIBLE PERSON IS TO HAVE AVAILABLE ONSITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DEPARTMENT APPROVED TRAINING PROGRAM IN COMPLIANCE OF RESPONSIBLE PERSON DESIGNATION.

CONSTRUCTION AND STABILIZATION SEQUENCE:

1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STRAW BALE DIKES, INLET PROTECTION, SUMP PIT, PORTABLE SEDIMENT TANK, STABILIZED TREE PROTECTION, AND SILT FENCE AS INDICATED ON SHEET C-2. SEE SHEET C-5 FOR EROSION AND SEDIMENT CONTROL DETAILS.
2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
3. REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN.
4. INSTALL PROPOSED UTILITIES AS INDICATED ON SHEET C-4.
5. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
6. CONSTRUCT BMPs AS INDICATED ON SHEET C-3.
7. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

EROSION AND SEDIMENT CONTROL NOTE:

1. THE APPLICANT MUST NOTIFY THE DISTRICT DEPARTMENT OF ENVIRONMENT BY PHONE (202-535-2977) AT LEAST 72 HOURS PRIOR TO THE START OF LAND DISTURBING ACTIVITY AND WITHIN (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DISTRICT DEPARTMENT OF ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.
2. REMOVAL OF ANY EROSION AND SEDIMENT CONTROL MEASURES REQUIRES APPROVAL FROM DDOE INSPECTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
4. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
5. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION.
6. PROVIDE A CHAIN LINK FENCE AT PERIMETER OF SITE
7. NO LATER THAN THE FIRSTDAY OF CONSTRUCTION, INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURES REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAY.
8. REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF DDOE INSPECTOR.
9. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DE-STABILIZATION AREAS.
10. STRAW BALE DIKES WILL BE REPLACED EVERY THREE (3) MONTHS UNTIL COMMENCEMENT OF CONSTRUCTION.



LEGEND

PROPOSED

- STABILIZED CONSTRUCTION ENTRANCE (Symbol: SCE)
- WASH RACK (Symbol: WR)
- INLET PROTECTION (Symbol: IP)
- APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION (Symbol: LOD - LOD)
- APPROXIMATE LIMIT OF DISTURBANCE (Symbol: LOD - LOD)
- TREE PROTECTION (Symbol: TP)

TOTAL SITE AREA:
TOTAL SITE AREA: 85,532 SF / 1.96 AC

TOTAL VOLUME OF CUT OF SITE WORK:
TOTAL AREA OF EXCAVATION: XXXX SF / XXX AC
VOLUME OF CUT: XXXX SQ.FT. (AREA) X 1 FEET (DEPTH)
27

VOLUME OF CUT: XXXX cy +/-

TOTAL VOLUME OF CUT/FILL FOR UTILITIES:
TOTAL AREA OF EXCAVATION: XXXXX SF / XXX AC
VOLUME OF CUT: XXXX SQ.FT. (AREA) X 7 FEET (DEPTH)
27

VOLUME OF CUT/FILL: cy +/-

TOTAL AREA OF DISTURBANCE:
TOTAL AREA OF DISTURBANCE: 102,436 SQUARE FEET OR 2.35 AC

CONSTRUCTION DATES:
THE PROPOSED WORK IS ANTICIPATED TO TAKE APPROXIMATELY 24 MONTHS.
EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

THIS SHEET IS TO BE USED FOR
SEDIMENTATION AND EROSION CONTROL
PURPOSES ONLY

